

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: April 6, 2006

ITEM NO. \_\_\_\_\_

CASE NUMBER/  
PROJECT NAME

**104-DR-2005**  
**The Peaks Business Park**

LOCATION

7609 E. Pinnacle Peak Road

REQUEST

Request approval of a site plan and elevations for a nine (9)-building office complex.

OWNER

Investment Equity  
Development  
602-508-6079

ENGINEER

Wood-Patel Associates  
602-335-8506

ARCHITECT/  
DESIGNER

Dick & Fritsche Design  
Group  
602-954-9060

APPLICANT/  
COORDINATOR

Mike Schmitt  
Dick & Fritsche Design  
Group  
602-954-9060

BACKGROUND

## **Zoning.**

The site is zoned CO/ESL (Commercial Office District/Environmentally Sensitive Lands). The CO district allows for an environment that is conducive to development of office and related uses adjacent to the central business district or other major commercial cores. The ESL Ordinance requires that a percentage of the property be permanently preserved as Natural Area Open Space and that specific environmental features be protected.

## **Context.**

The site is located on the southeast corner of E. Pinnacle Peak and N. Miller Roads, south of an existing commercial center.

Adjacent Uses:

- North: Commercial zoned C-1/ESL; Across E. Pinnacle Peak Road, Office zoned S-R/ESL, and Residential zoned R1-18 ESL PRD/ESL
- South: Residential zoned R-4/ESL, Commercial C-1/ESL
- East: Residential zoned R1-43/ESL, Sonoran Hills City Park, and Pinnacle Peak Elementary School.
- West: Vacant land (The Former Rawhide site) recently zoned Planned Community District (PCD/C-2/C-O/R-5) for the Silverstone project.

APPLICANT'S  
PROPOSAL

## **Applicant's Request.**

The request is for the approval of a site plan, landscape plan and elevations for 9 one and two story condominium office buildings.

**Development Information:**

- Existing Use: Vacant
- Proposed Use: Office Condominium
- Parcel Size: 16.95+/- Acres
- Total Building Size: 206,663 Square Feet, Garage; 78,322 Square Feet
- Building Height Allowed: 36 Feet
- Building Height Proposed: 36 Feet
- Parking Required: 688 Spaces
- Parking Provided: 926 Spaces; 690 Spaces Surface and 236 Spaces in the Garage.
- Open Space Required: 267,514 Square Feet
- Open Space Provided: 273,829 Square Feet
- FAR: .385 With Garage

**KEY ISSUES**

- The applicant has been in communication with the neighbors regarding additional landscaping for screening purposes, as well as with the residents within the northeast corner of the site who had inquiries regarding the proximity of the driveway to their properties.
- Cross-Access to adjacent commercial center for pedestrian and vehicular connections.
- One Phase build out.
- Drainage; staff continues to work with the applicant to provide an acceptable Master Plan
- NAOS Dedication; to provide additional buffer between the adjacent residential development

**DISCUSSION**

The proposed site is vacant and undeveloped. There is an existing retail center located along the northwestern boundary of the site. The subject site received C-O zoning approval as part of a 47-acre development in case 23-ZN-1990 of which the retail center (Lot 1) was part. In case 23-ZN-1990 a total of 20% NAOS was required for the overall development. The proposed site demonstrates the satisfaction of the 20% zoning requirement. Additional NAOS will be dedicated within the open space along the eastern property boundary to serve as a buffer to the residential subdivision along that property boundary.

The site will have a main access on N. Miller Road and a secondary access east of the existing retail center along E. Pinnacle Peak Road. The internal circulation consists of a 24-foot driveway with 5-foot sidewalks along the west side. A cross access and a pedestrian easement is provided to the retail center to the north for connectivity. Access will not be provided east to the City Park site because of objections by the neighbors concern with safety issues related to the adjacent elementary school.

The focal point at the center of the proposed project will be a water feature, which conforms to the requirements of the Water Resources Department. The architecture is compatible with the context of the nearby developments. The organization of the proposed buildings on site are in conformance with all

stipulations to the zoning case, in particular to the placement of one story buildings beyond the 75-foot setback, and two story buildings beyond the 100-foot setback.

The one-story buildings will be wood frame construction and the exterior consists of stucco, metal canopies and stone. Materials and paint colors are as indicated:

- The roof will be composed of clay tile; Westile and clay in color (Kayenta Blend). The roof ridge will have stucco exterior and olive in color (Thoroughbred ICI 452).
- The exterior stucco facades will have two colors; light brown (Sandy Cove ICI 416) and Beige (Fortress Stone ICI 472).
- The base and columns of the buildings will have stacked stone as a horizontal and vertical element. The stone will be; Coronado Stone, Honey Ledge style, and shades of brown (Sioux Falls) in color.
- The canopy and sun shade will be of painted metal, brown (Tobacco Brown ICI 200) in color
- The windows used in all buildings will be one inch insulated units aluminum frame system, medium, bronze in color. The glass will be Viracon, blue/green in color, ultra violet 32%, and VLT 75%.

The two-story buildings will be constructed of pre-cast steel studs, with stucco exterior, using the same paint and materials as used in the one-story buildings.

Landscaping proposed on site will be indigenous to the area. The landscape will be of lush arid desert plant materials.

#### **Public Outreach.**

The applicant sent letters of notification for the proposed project to all landowners within 750 feet of the site. In addition, Staff has sent postcards of notice and posted the site. Staff has received calls from neighbors regarding the open space buffering, Dumpster location and the location of parking. The applicant has complied with the previous zoning case that stipulate the setback distances for one and two stories. The applicant has been in contact with the neighbors and agreed to provide additional landscaping in the parking area as well as the open space area that is providing the separation from the residential community.

#### **OTHER BOARDS AND COMMISSIONS**

23-ZN-1990 approval for C-O zoning; 16-DR-1999 site plan and elevations for Office (DRB approval lapsed); 24-PP-2004: DRB Approval for Preliminary Plat of a ten-lot non-residential subdivision. The site has since then changed ownership.

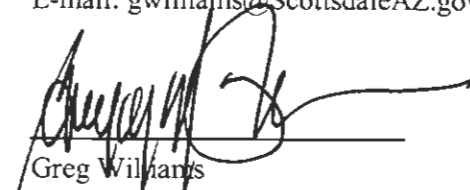
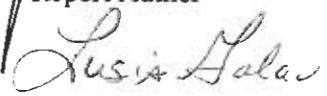
#### **STAFF RECOMMENDATION**

Staff recommends approval, subject to the attached stipulations.

**STAFF CONTACT(S)**

Greg Williams  
Senior Planner  
Phone: 480-312-4205  
E-mail: gwilliams@ScottsdaleAZ.gov

**APPROVED BY**

  
\_\_\_\_\_  
Greg Williams  
Report Author  
  
\_\_\_\_\_

Lusia Galav, AICP  
Director, Current Planning  
Phone: 480-312-2506  
E-mail: lgalav@scottsdaleAZ.gov

**ATTACHMENTS**

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
- 6A. Elevations, 2-Story Building
- 6B. Elevations, 1-Story Building
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements

11/22/05

**Project Narrative: The Peaks, Business Park**  
**614-PA-2005****Overview:**

Investment Equity Development (the Developer) has purchased, and plan to develop approximately 16.95 acres, south and east of the intersection of Pinnacle Peak Road and Miller Road. The property's underlying zoning is C-O, per case 23-ZN-1990, and attached stipulations. The site is subject to the Environmentally Sensitive Lands Ordinance / Lower Desert Landform.

A preliminary plat for a ten lot subdivision was recently approved for this site, per case 24-PP-2004. The subdivision plat will not be recorded.

**Context:**

An existing shopping center is located at the SEC of Pinnacle Peak Road and Miller Road, immediately adjacent to this site. To the east of this site is a single family subdivision, a City park, and an elementary school. To the south is a residential subdivision. Directly west of this site, across Miller Road, is the former Rawhide site, which is currently being master planned as "Silverstone". Preliminary plans for Silverstone indicate single-family homes, and a supervised care center will be developed along the west side of Miller Road.

**Project Description:**

The property will be developed in a single-phase, as one and two-story condominium office buildings, geared toward professional users. The two-story buildings will contain a single basement level parking garage. Basement level parking will be owned by condominium unit owners, and will include automated, controlled access. Other site improvements will include utility infrastructure, surface parking, parking canopies, landscaped areas, required NAOS, and an outdoor plaza amenity space between two-story buildings. In addition, the developer plans a centrally located sculpture and landscape / waterscape feature. All buildings planned on this site will be developed in conformance with the stipulations of zoning case 23-ZN-1990, including the NAOS buffer and one and two story building setback limits set forth. Final development of the plaza area, sculpture / waterscape feature and entry wall elements will be returned at a later date for staff or DRB review and approval.

The single-story buildings, or portions thereof, will be sold to individual buyers as fee-simple units, and the two-story buildings will be sold as condominium units. Common areas (outside usable building envelopes) including parking lots, landscaping, art features, amenities, NAOS and common amenities will be granted to the property owner's association. Maintenance of common areas will be the perpetual responsibility of the property owner's association.

This office park site has residential neighbors to the east and south, and potentially to the west, in the proposed Silverstone development. As such, we chose to avoid a corporate architectural style, but rather, design architecture and a color scheme that would be found compatible with the context established by our neighbors, and appropriate to the ESL district.

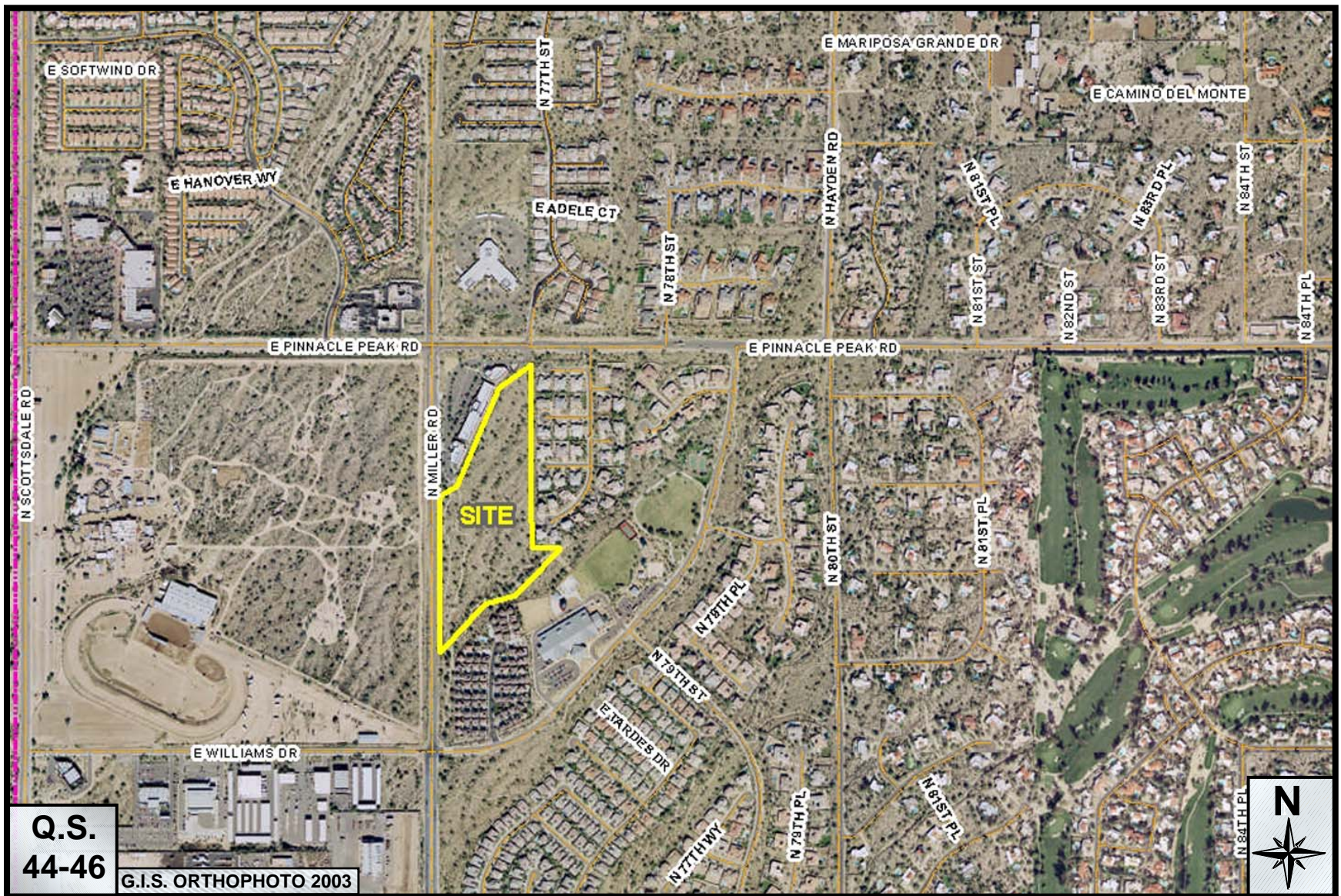
**Open Space:**

Open space has been carefully designed to place NAOS areas as generous buffers toward adjacent residential uses. The original master plan for this site, which included the adjacent shopping center, provided an NAOS budget. A portion of NAOS required for the shopping center is accommodated on this site. A summary of NAOS requirements for the combined sites is included with this submittal. In order to soften the Miller Road frontage to the project, the Developer has elected to provide the full 35 foot front yard setback, where a 20' setback would have been allowed.

**Access:**

Primary access to this project is a driveway entrance from Miller Road, where a median break with left turn lanes will be provided. The Developer has met with representatives of the City of Scottsdale and the planners of the Silverstone project (across Miller Road), to agree on a mutually acceptable alignment of driveways. The Developer will request that the City of Scottsdale allow a traffic signal at this location. A secondary means of access to this site will be taken at the north end of the site, via an existing driveway, to be shared with the adjacent shopping center, via an existing 40' access easement. In addition to the two points of access to public streets, the Developer, and the owner of the adjacent shopping center have agreed to connect a sidewalk and driveway between the two projects. This will facilitate vehicular access between these compatible uses, without need to enter the adjacent public streets, and will encourage pedestrian activity between the two developments.



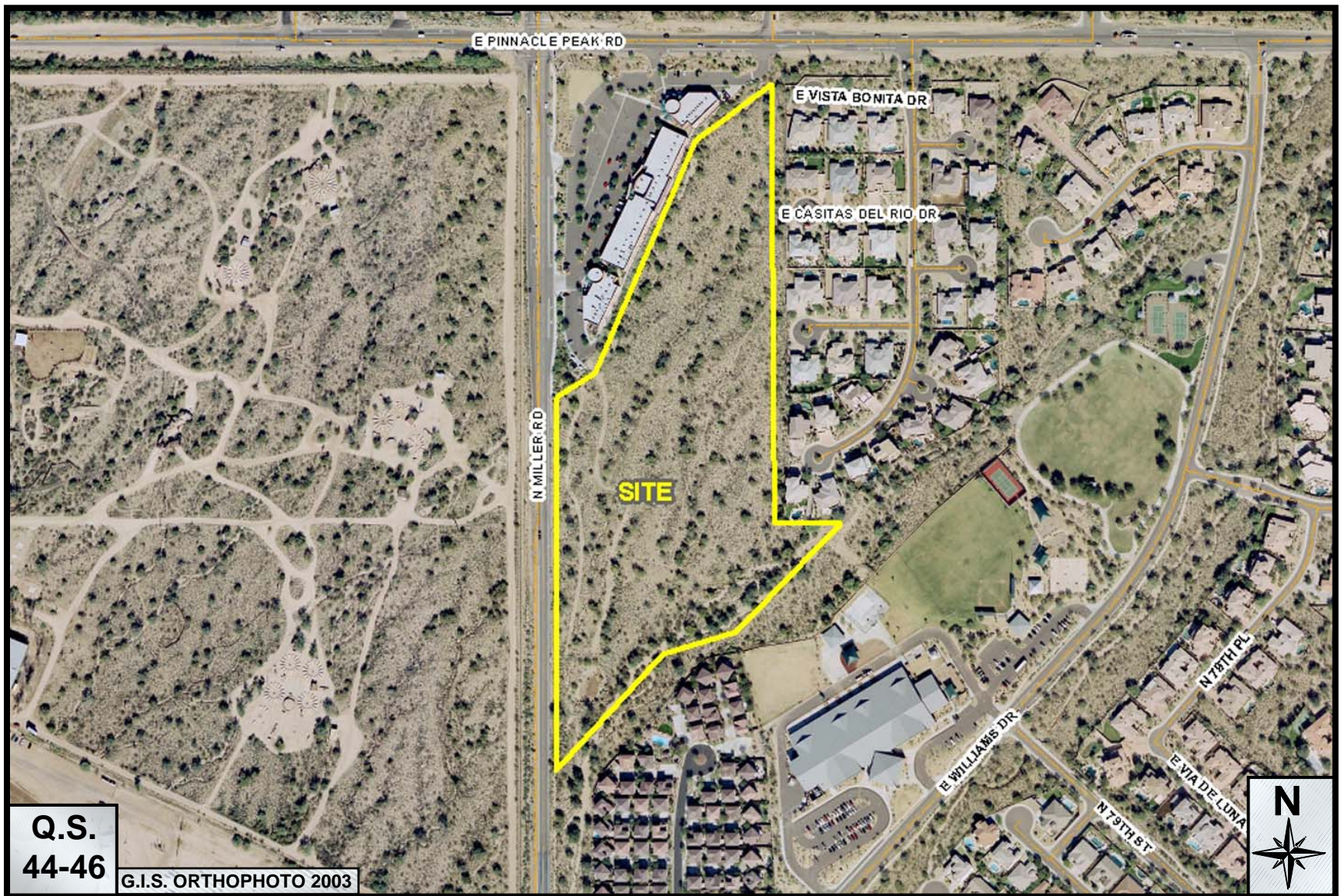


The Peaks Business Park

104-DR-2005

ATTACHMENT #2





Q.S.  
44-46

G.I.S. ORTHOPHOTO 2003

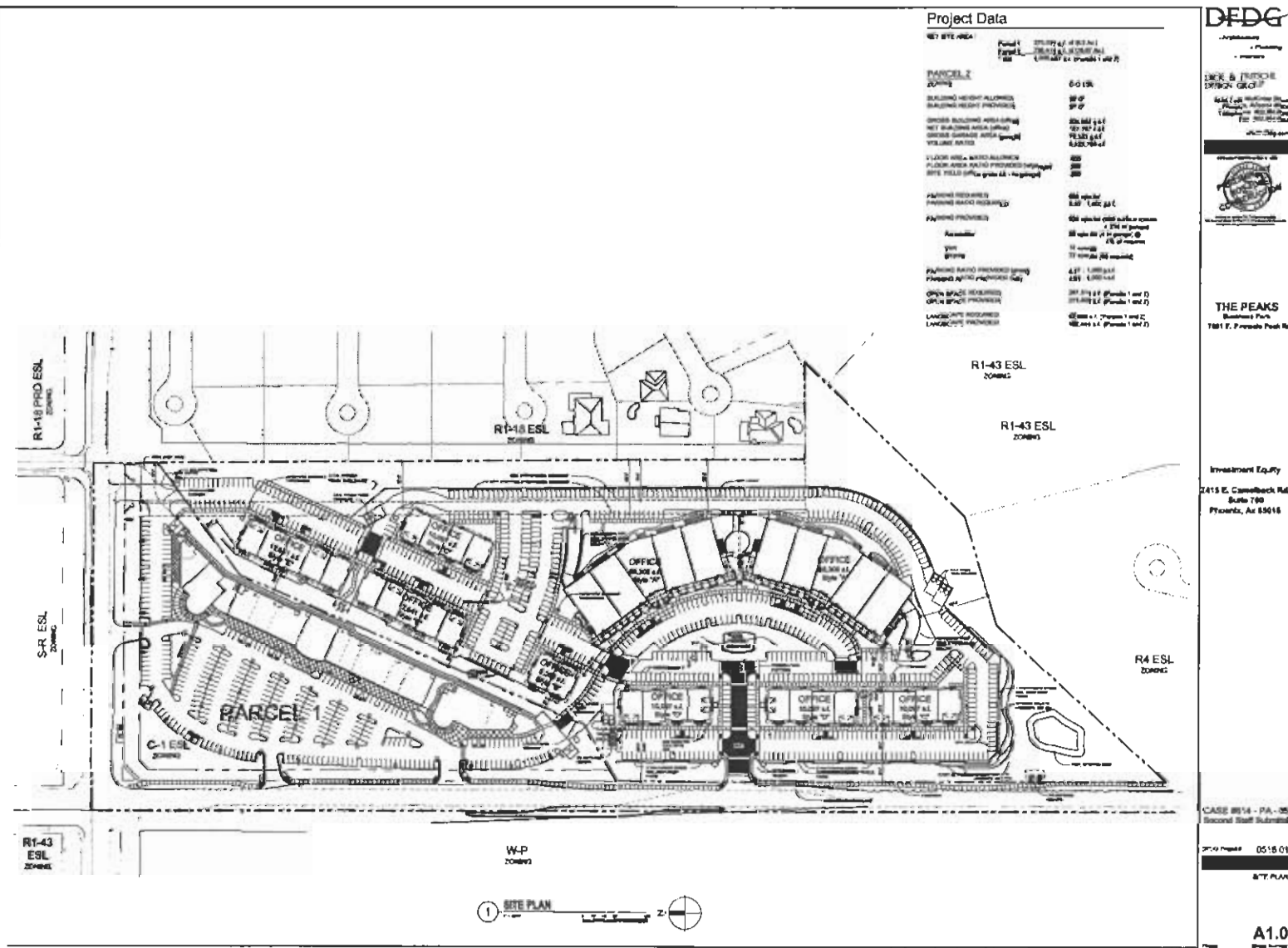
The Peaks Business Park

104-DR-2005

ATTACHMENT #2A







**DEDG**

Architectural  
Planning  
Interior

**DAVE & PATRICIA  
DESIGN GROUP**

1414 1/2th Main Street  
Phoenix, Arizona 85004  
Tel: 602.254.1111  
Fax: 602.254.1112

**City of Phoenix**

**City of Phoenix**

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**CASE #14 - PA - 25**

**Second Staff Submitted**

**2/14/06 Project**

**05/16/01**

**S.T. PLAN**

**A1.0**

**Sheet 1 of 1**

**Sheet 1 of 1**

**Sheet 1 of 1**

**Sheet 1 of 1**

**Sheet 1 of 1**

**Sheet 1 of 1**

**Sheet 1 of 1**

**Sheet 1 of 1**

104-DR-2005  
REV: 1/26/2006



**LANDSCAPE PLAN**

0' 30' 60'

125'

104-028-2396  
REV. 12/87/88

1/26/00





west elevation - building 'A'



north elevation - building 'A'



south elevation - building 'A'



east elevation - building 'A'



typical elevations - building 'B'



typical elevations - building 'C'



typical elevations - building 'C'

INVESTMENT EQUITY 4840 S. DECATUR DRIVE 200  
LAKESIDE, NV 89101

DEEDG

4840 S. DECATUR DRIVE  
LAKESIDE, NV 89101

4840 S. DECATUR DRIVE  
LAKESIDE, NV 89101

THE PEAKS | BUSINESS PARK

2/20/06

CASE# 614-PA-05

104-DR-2005  
REV: 1/26/2006  
2/10/06



typical elevations - building 'D'



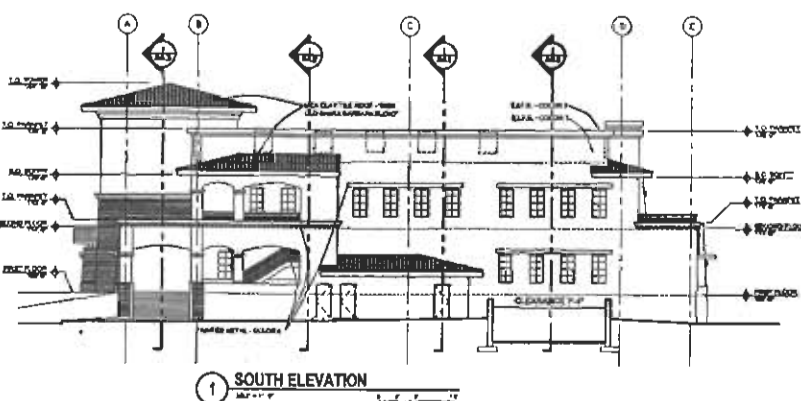
typical elevations - building 'D'

typical elevations - building 'E'



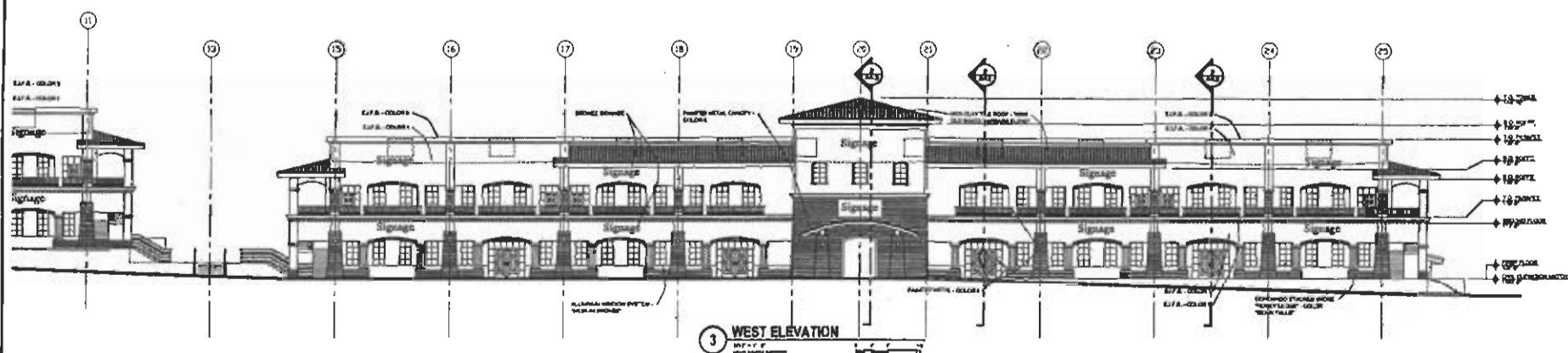
typical elevations - building 'E'



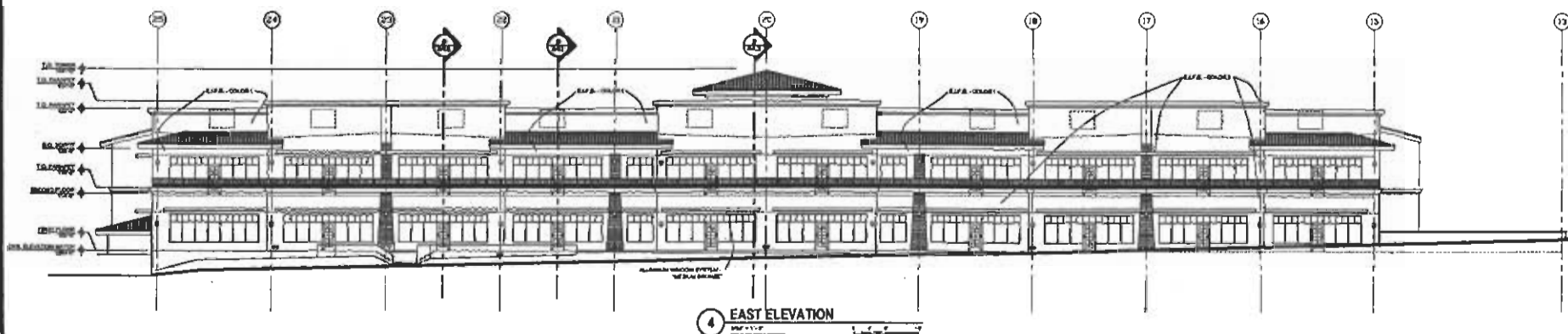


2 NORTH ELEVATION

**SOUTH ELEVATION**



WEST ELEVATION



**EAST ELEVATION**

## MATERIALS

[illegible]~~DEEDG~~

- Architecture
- Planning
- Interiors

DICK & FULTS  
DESIGN GROUP

6545 East McKinley St.  
Phoenix, Arizona 85042  
Telephone 602.964.8000  
Fax 602.964.8000  
www.cibac.com

2004/05

1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 26

PRELIMINARY  
NOT FOR  
CONSTRUCTION

## THE PEAKS

**THEY'LL BE**  
Business Park  
7601 E. Pinnacle Peak

Investment Equity

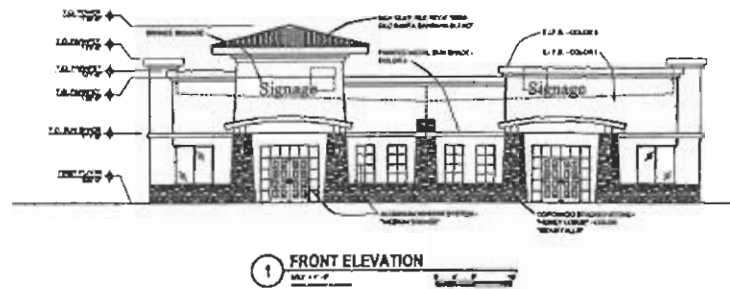
2415 E. Camelback Rd.  
Suite 700  
Phoenix, Az 85016

CASE #814 - PA - 0  
Second Staff Submit

OF OGI. Proposed by 0518.C

BUILDING  
ELEVATIONS  
SOUTH HAN

**A** **A3.**



**MATERIALS**

CONCRETE: 4000 PSI  
 FLOOR: 4\"/>

**DEDG**  
 Architecture  
 Planning  
 Interiors

**DICK & FRITSCHE**  
 DESIGN GROUP

4645 East McDowell Road  
 Phoenix, Arizona 85006  
 Telephone: 800.364.2338  
 Fax: 602.964.2338  
 www.dedg.com

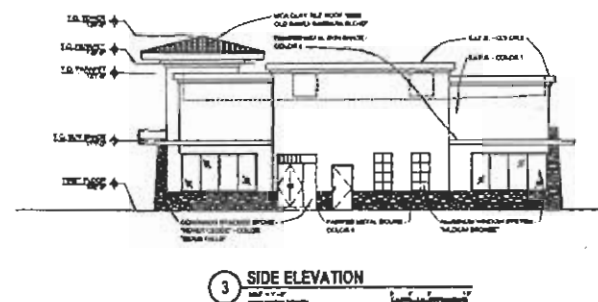
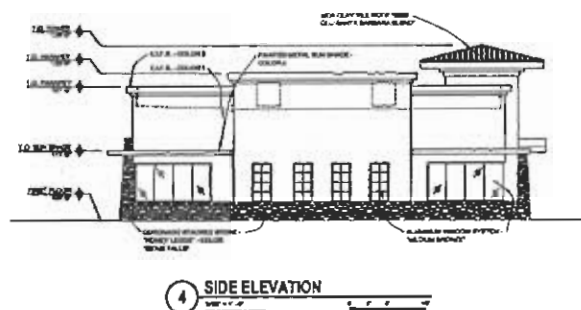
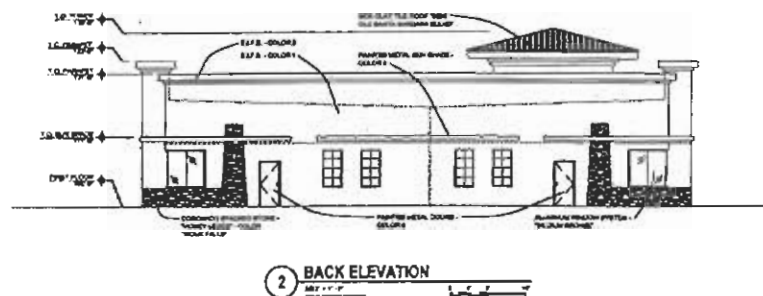
**THE PEAKS**  
 Business Park  
 7801 E. Pinnacle Peak I

Investment Equity  
 2415 E. Camelback R  
 Suite 700  
 Phoenix, Az 85016

CASE #014 - PA - 0  
 Second Staff Submit

DFDG Project # 0516.C  
 BUILDING 7  
 ELEVATION

**B**  
 A3.2



The Peak Business Park  
7609 E. Pinnacle Peak Rd.  
Scottsdale, AZ

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.  
AS SHOWN
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
  - ☒ A. KNOX BOX
  - ☐ B. PADLOCK
  - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS \_\_\_\_ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.  
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. \_\_\_\_
- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF 700 AT 1500 GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) \_\_\_\_
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS \_\_\_\_
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
  - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
  - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.



20. ☒ **SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.**
- ☐ **A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)**
- ☐ **B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.**
- ☒ **C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: .1/1500 & .15/1500 garage SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.**
- ☐ **D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:**
- ☐ **E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.**
- ☐ **F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.**
- ☒ **G. ALL DRIVEWAYS, PARKING AREAS, AND AREAS OVER UNDERGROUND PARKING SHALL BE DESIGNED TO A MIN. 83,000 LBS.GVV.**

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

# **Stipulations for Case: The Peaks Business Park Case 104-DR-2005**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

## **PLANNING**

### **APPLICABLE DOCUMENTS AND PLANS:**

#### **DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Dick & Fritsche Design Group with a staff receipt date of 2/10/06.
  - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Dick & Fritsche Design Group with a staff receipt date of 2/10/06.
  - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by T.J. McQueen & Associates with a staff receipt date of 2/10/06.
  - d. Open Space shall be provided on site to be consistent with the site plan worksheet submitted by Dick & Fritsche Design Group with a staff receipt date of 2/10/06.

### **ARCHITECTURAL DESIGN:**

#### **DRB Stipulations**

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. All walls shall match the architectural color, materials and finish of the building(s).
10. *Overall building height for this development shall be measured from the lowest floor elevation, as per directive from the City Flood Plain Administrator.*
11. *As part of the final plans submittal, applicant shall provide a roof plan for Building Type "A", clearly indicating percentage of roof area that is proposed to exceed the maximum allowed building height of*

## **ATTACHMENT B**

*thirty-six feet. A maximum of fifty (50) percent of the roof area may exceed thirty-six feet if it is necessary to screen roof-mounted mechanical equipment.*

**SITE DESIGN:****DRB Stipulations**

12. *Applicant shall submit a separate application to release the existing NAOS and Drainage easements, prior to or concurrently with, the final plans submittal. No permits shall be issued until final approval for the release of easement(s) has been secured.*
13. *The final site plan shall be revised to accurately reflect all applicable development standards, to the satisfaction of final plans staff. Project data shall call out required/allowed and provided numbers, as well as all supporting calculations.*
14. *Applicant shall obtain approval in writing from the City Water Conservation Department for the proposed water feature in the central common area. Evidence of approval shall be provided as part of the final plans submittal, to the satisfaction of final plans staff.*
15. *The final site plan shall be revised so that all overlapping language is cleared up and legible, to the satisfaction of final plans staff.*

**N.A.O.S.:****DRB Stipulations**

16. *The NAOS Worksheet shall be modified to reflect the revised dedication areas after the Release of Easement has been approved. The revised worksheet shall visually identify any NAOS areas that are proposed to be re-vegetated (if applicable) and provide supporting calculations. A copy of the revised worksheet shall be provided as part of the final plans submittal.*

**Ordinance**

- A. *No more than thirty (30) percent of the overall NAOS area shall be identified as "Revege".*

**LANDSCAPE DESIGN:****DRB Stipulations**

17. *Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.*
18. *Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.*

**Ordinance**

- B. *In accordance with Section 49-246 of the Scottsdale Revised Code, water-intensive landscaping and turf areas shall be minimized on this site. The final landscape plan shall be revised to clearly identify all proposed turf areas and shall provide supporting calculations.*
- C. *All proposed turf areas shall be screened by a block wall with a minimum height of three (3) feet, or shall be internally located, so they will not be visible from off-site.*
- D. *All plant and tree species for this site shall be selected solely from the Arizona Department of Water Resources Low Water Use / Drought Tolerant Plant List.*

**EXTERIOR LIGHTING DESIGN:****DRB Stipulations**

19. *All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.*
20. *The individual luminaire lamp shall not exceed 250 watts.*

21. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.
22. All exterior light poles, pole fixtures, and yokes, including bollards, shall be flat black or dark bronze in color.
23. No lighting shall be permitted in dedicated NAOS easements, and Vista Corridor easements.
24. *The photometric analysis shall be revised to match the electrical site plan and shall show all proposed ground-mounted and building-mounted fixtures.*
25. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site, shall not exceed 2.0 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.
- e. Wall mounted luminaires shall contain house side shields, and be mounted on a minimum 4-inch long bracket that is mounted perpendicular to the wall.

Carport Lighting:

- f. The carport lighting shall be recessed within the canopy and shall not project below the fascia. The light source is not directly visible from the property line.
- g. *All lighting proposed for the carports adjacent to the east and south property lines shall be mounted on the inside face of the rear horizontal support beam, so the fixture faces away from the residential lots abutting this parcel, to the satisfaction of final plans staff. All other carport lighting may be located as proposed, on the front horizontal support beam.*

**VEHICULAR AND BICYCLE PARKING:**

**DRB Stipulations**

26. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.
27. *The final site plan shall be revised to show the location of all proposed accessible spaces. The site plan provided for D.R. approval only shows 24 of the 28 required spaces.*

**ADDITIONAL PLANNING ITEMS:**

**DRB Stipulations**

28. No exterior vending or display shall be allowed.
29. Flagpoles, if provided, shall be one piece, conical, and tapered.
30. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

**RELEVANT CASES:**

**Ordinance**

*E. At the time of review, the applicable zoning case for the subject site was: 23-ZN-1990.*



## **ENGINEERING**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### **APPLICABLE DOCUMENTS AND PLANS:**

31. Site plan prepared by Dick & Fritsche Design Group, dated 1/26/06 by City Staff.
32. Preliminary Grading and Drainage Plan, dated 1/25/06, prepared by Wood/Patel, dated 1/26/06 by City Staff.
33. Preliminary Drainage Report, dated 3/21/06, prepared by Wood/Patel.

### **CIVIL IMPROVEMENT PLAN REQUIREMENTS:**

#### **DRB Stipulations**

### **DRAINAGE AND FLOOD CONTROL:**

#### **DRB Stipulations**

34. The Preliminary Drainage Report dated 3/21/06 is not approved because it contains information inconsistent with Approved Master Drainage Report for Sonoran Hills Retail Office Complex (City of Scottsdale Project# 1990-99A), prepared by Len Erie, dated October 5, 1999, accepted by the City of Scottsdale on October 12, 1999. Prior to final plan submittal, the developer shall submit an Amended Master Drainage Report along with Preliminary Drainage Report for review and approval.
  - a. Any design that modifies the approved master drainage report requires from the developer a site-specific addendum to the final drainage report and plan, subject to review and approval by the city staff.
  - b. Addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.
35. Basin Configuration:
  - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
  - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
36. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
  - a. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
  - b. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

#### **Ordinance**

- F. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
  - (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
  - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to

the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.

- (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
- (4) Off-site runoff must enter and exit the site as it did historically.
- (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.

A proposal to reduce stormwater storage amount shall be reviewed and approved by Floodplain Management prior to final plan submittal.

G. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.

H. Underground Stormwater Storage:

- (1) Underground stormwater storage is approved in concept only by Joe Morris, City of Scottsdale Development Review Engineer.
- (2) Details, specifications and maintenance plan of the proposed underground storage facilities shall be reviewed and approved by City's Floodplain Management.
- (3) Drywells are not permitted.

Underground Stormwater Storage shall be subjected to the following stipulations:

- c. ACCESS. The underground storage tank shall provide a four-foot minimum diameter manhole for access.
- d. RESPONSIBILITY OF MAINTENANCE. Before the approval of improvement plans by city staff, the developer shall provide the Project Quality/Compliance Division with written documentation that states the following:  
  
The developer and/or his assigns agree to maintain the underground storm water storage tank in perpetuity.  
  
The developer and/or his assigns, the developer's engineer and contractor assume all liability for the design, construction and maintenance of the underground storm water storage tank and hold harmless the City from any such liability.
- e. LIMITS OF INUNDATION. The final drainage report shall verify limits of inundation in the event the underground storm water storage tank is in partial and full conditions (not fully drained) when the 100-year, 2-hour storm event occurs. (See item 2 above.)
- f. REFERENCE PERTINENT CODE. The final drainage report shall:  
  
Provide a copy of the Scottsdale Revised Code Section 37-45 in the appendix.  
  
Reference the Scottsdale Revised Code Section 37-45 and emphasize the importance of maintenance for the purposes of public health and safety. (See item 2 above.)
- g. SIGNAGE. The improvement plans shall provide for signage at each end of the underground storage tanks. The sign shall read, " Notice Underground Storm water Storage Tank" The size, color and exact locations to be determined by city staff.
- h. TANK DRAINAGE. A bleed-off line from the underground storage tank to a proposed underground bleed off pipe discharging to the center of the south property line shall be provided. Storm water storage tanks should be designed to meter flow to the historic out-fall point. Where no out-fall exists (or metering is not possible), other methods of discharge may be considered.
- i. TANK SPECIFICATIONS. The storage tank shall be water tight with an oil and grease separator. See ASTM specifications for watertight testing.

- j. **O & M SCHEDULE.** With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit an Operations and Maintenance (O & M) Manual. The O & M shall:

Identify the owner of the storage tank and the name of the firm or associations maintaining the storage tank. The contact information for the owner the maintenance associations shall list names, addresses, phone numbers and emergency phone numbers.

Include provisions for emergency operations due to power failure, pump failure, clogged outlet structures.

Include a maintenance log including a maintenance schedule for pump, tank/vault, inlet/outlet structures.

Specify that a copy of the maintenance log and a certified Letter of Inspection shall be issued to the City Inspection Services annually.

**I. Street Crossings:**

- (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

**ROADWAY, INTERSECTION, AND ACCESS DESIGN:**

**Streets and other related improvements:**

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
Pinnacle Peak Road	Minor Arterial	55' Half Street (existing)			
Miller Road	Major Collector	55' Half Street (existing)	Deceleration Lane	Vertical	8' sidewalk

**DRB Stipulations**

37. Site access is provided by existing driveways on Pinnacle Peak Road and Miller Road. The developer shall design and construct an additional driveway on Miller Road in general conformance with City of Scottsdale Standard Detail# 2257, Type CH-1.
38. Main driveway and proposed median opening on Miller should be minimum 660 feet from existing driveway/median opening to the north. Distance between driveways shall be 660 feet minimum. Any variance from the 660 feet spacing will require coordination with Silverstone developers to the west.
39. Developer shall extend existing half street improvements on Miller Road along entire site frontage. The required improvements include a raised median and one southbound lane with transition to existing cross section to the south. Improvements shall be coordinated with Wood Patel, Silverstone's engineer. Note that the site plan only indicates a portion of the site frontage. Plans shall be revised to meet the requirements above.
40. Developer shall provide a deceleration lane at site driveway on Miller Road.

**Ordinance**

- J. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

**Ordinance**

- K. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

**INTERNAL CIRCULATION:****DRB Stipulations**

41. The developer shall provide a minimum parking-aisle width of 24 feet.
42. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
43. Directional ADA ramps per City standard shall be provided at driveways and across internal drive aisles along pedestrian path.
44. A sidewalk shall be provided along access drive to the north connecting to Pinnacle Peak Road.
45. Provide an 8' sidewalk along Miller Road. Sidewalk shall be moved away from the back of curb.
46. The developer shall design and construct bicycle racks in general conformance with City of Scottsdale Standard Detail #2285. Bicycle racks shall be provided and shown on civil improvement plans.

**Ordinance**

- L. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

**EASEMENTS AND DEDICATIONS**

<b>EASEMENT / DEDICATION</b>	<b>DESCRIPTION</b>
Drainage Easement	Over drainage basins and underground storage facilities
1' VNAE	Along site frontage except at approved driveways
Access Easement	To the drainage easement if not accessible from the right-of-way
Sight Distance Easement	At driveways

**DRB Stipulations**

47. Drainage Easement:
  - a. If developer proposes to alter existing drainage easement, a release of easement application shall be submitted and approved prior to approval of final plans.
48. Sight distance easements shall be dedicated over sight distance triangles.
  - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
  - b. Refer to sections 5.3-26 and 5.3-27 of the City's Design Standards and Policies Manual, 2004 Update.
49. Vehicular Non-Access Easement:
  - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Miller Road except at the approved driveway location.
50. Indemnity Agreements:
  - a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to



access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

### **Ordinance**

#### **M. Drainage Easement:**

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 50 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

#### **N. Waterline and Sanitary Sewer Easements:**

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

#### **O. Public Utility Easement:**

- (1) An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

### **REFUSE:**

#### **DRB Stipulations**

51. Ten (10) single refuse enclosures or five (5) double refuse enclosure or equivalent a combination of both types are required for this site. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1,2(2 is grease containment) for single enclosures and #2147-1,2(2 is grease containment) for double enclosures.

#### **52. Enclosures must:**

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

### **Ordinance**

#### **P. Refuse enclosures are required as follows:**

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- (3) Apartments: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.

For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 SF, as shown above. For commercial buildings that include one or more restaurants, one refuse enclosure must be dedicated to each restaurant in addition to the number of enclosures needed based on the square footage of the commercial building, as shown above.

- Q. Underground vault-type containers are not allowed.
- R. Refuse collection methods, i.e., site plan circulation will be approved at final plan review. Proposed location of refuse enclosures shall be reviewed and approved by City of Scottsdale Sanitation Department.
- S. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

**WATER AND WASTEWATER STIPULATIONS**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

**DRB Stipulations**

- 53. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
  - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
  - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

**WATER:****DRB Stipulations**

- 54. Basis of Design Report (Water):
  - a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

**Ordinance**

- T. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

**WASTEWATER:****DRB Stipulations**

- 55. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

**Private Sewer System**

- 56. On-site sanitary sewer shall be privately owned and maintained.

**Service Connections to the Main.**

- 57. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

**Ordinance****LOCATION & CLEARANCE.**

- U. Privately owned sanitary sewer shall not run parallel within the waterline easement.

**BRIDGES:****DRB Stipulations**

## 58. Bridges:

- a. All drainage crossings, including any configuration of box culverts or pipes that span 20 feet or more (as measured along the roadway centerline) shall be subject to review and approval by City staff.
- b. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit two (2) separate copies of the improvement plans, subject to City staff approval, for structural review.

**CONSTRUCTION REQUIREMENTS****DRB Stipulations**

## As-Built Plans.

## 59. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.

- a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
- b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

**Ordinance**

- V. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]